

Comhairle Contae Chill Dara  
Kildare County Council



Date: 14<sup>th</sup> June 2024.  
Our Ref: ED/1125.

Sean Daly,  
Cappagh,  
Enfield,  
Co. Kildare.

**RE: Application for a Declaration of Exempted Development under Section 5 of Planning and Development Act 2000 (as amended) for development at Cappagh, Enfield, Co. Kildare.**

Dear Sir/Madam,

I refer to your correspondence received on 14<sup>th</sup> May 2024 in connection with the above.

Please find attached declaration made under Section 5 of Planning and Development Acts 2000 (as amended) in this regard.

Yours sincerely,

**Senior Executive Officer,  
Planning Department.**





**Declaration of Development & Exempted Development under Section 5 of the  
Planning and Development Act 2000 (as amended).**

ED/001125.

**WHEREAS** a question has arisen as to whether alterations, extension and general upgrade of a derelict cottage including the provision of a septic tank at Cappagh, Enfield, Co. Kildare is exempted development,

**AS INDICATED** on the plans and particulars received by the Planning Authority on 14<sup>th</sup> May 2024.

**AND WHEREAS** Sean Daly requested a declaration on the said question from Kildare County Council,

**AND WHEREAS** Kildare County Council as the Planning Authority, in considering this application for a declaration under Section 5 of the Planning and Development Act 2000 (as amended), had regard to;

- (a) Planning and Development Act 2000 (as amended); and
- (b) Planning and Development Regulations 2001 (as amended);

**AND WHEREAS** Kildare County Council has concluded that the proposal comprises of development to which the provisions of the following applies:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act 2000 (as amended);
- (b) Articles 6 of the Planning and Development Regulations 2001 (as amended);
- (c) Class 1 in Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended) - Exempted Development – "Development within the curtilage of a house "Development within the curtilage of a house" and
- (d) The nature, extent and purpose of the works,

**NOW THEREFORE** Kildare County Council, in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that the erection of an extension to the rear of the dwelling, replacement of the roof and front porch and provision of a new septic tank to the rear of the dwelling,

***IS development and IS NOT EXEMPTED*** development pursuant to Section 2,3,4 and 5 of the Planning and Development Act as amended and Article 6, Article 9 of the Planning and Development Regulations as amended.

Please note that any person issued with a declaration under subsection 2(a) of the Planning and Development Act 2000 (as amended) may on payment to the Board of the prescribed fee, refer a declaration to An Bord Pleanála within 4 weeks of the issuing of the decision.

14<sup>th</sup> June 2024.

  
Senior Executive Officer,  
Planning Department.



**KILDARE COUNTY COUNCIL**



**PLANNING & STRATEGIC DEVELOPMENT DEPARTMENT**

**Section 5 referral & declaration on development & exempted development**

**Planning & Development Act 2000 (as amended)**

**Reference No. ED/1125.**

<b>Name Of Applicant(s):</b>	Sean Daly.
<b>Address Of Development:</b>	Cappagh, Enfield, Co. Kildare.
<b>Development Description:</b>	Extension to rear of dwelling, replace roof and front porch and provide new septic tank.
<b>Due date</b>	11/6/2024.

**Introduction**

This is a request for a **DECLARATION** under Section 5(1) of the Planning and Development Act 2000 (as amended) to establish whether under Section 5 of the Act the works to build an extension to the rear of the dwelling, replace the roof and front porch and provide a new septic tank to the rear of the dwelling are exempted development.

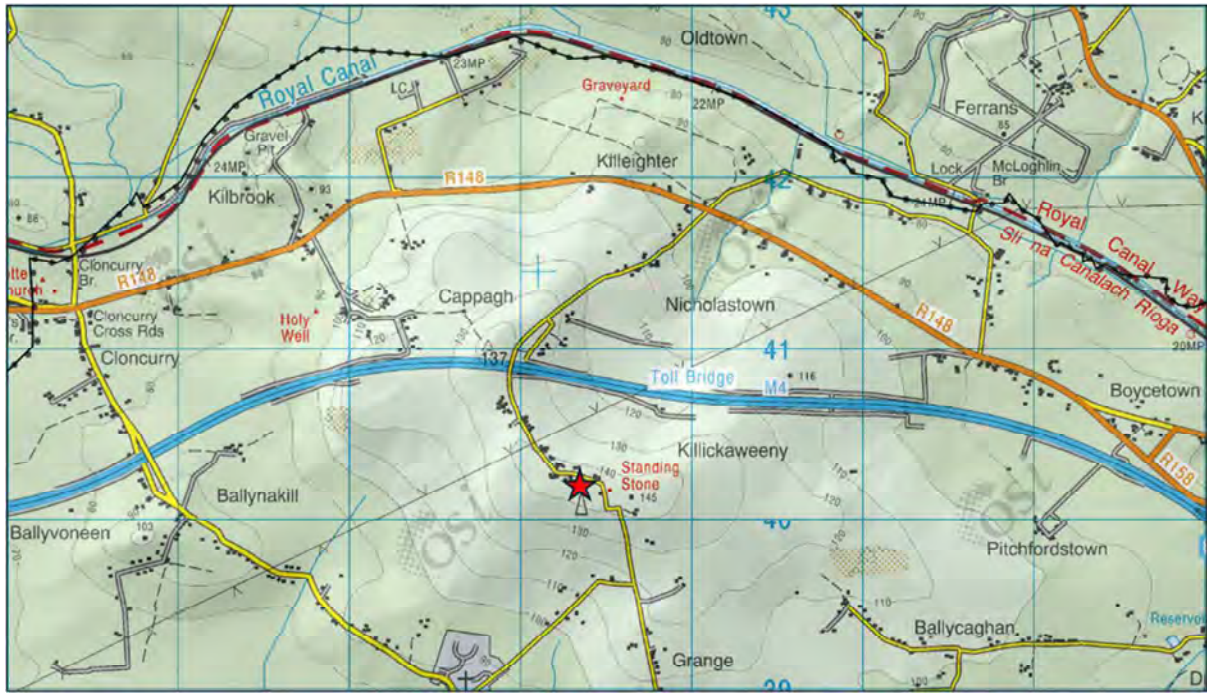
**Site Location**

The site is located in the townland of Cappagh in North Kildare. The site is adjacent to the L1007 road with Newtown Village to the South and crosses a bridge above the M4 to the North. The M4 EuroLink Toll Both is to the North of the site. The nearest protected structure is the Cappagh Windmills in Ruins (B04-12) which is c. 875m to the Northwest of the site.

**Description of Proposed Development**

Development consists of the erection of an extension to the rear of the dwelling, the replacement of the roof and front porch and the provision of a new septic tank to the rear of the dwelling. The extension shall have a floor area of 15.82sqm. The cottage will have two bedrooms, a bathroom, a utility room and an open plan kitchen/dining/living room.





**Fig 1: Site Location and context (site denoted by red star)**



**Fig 2: Aerial view of subject site (GIS)**

### **Planning History**

No relevant planning history on site. It appears that the original structure predates 1963.

### **Relevant Legislative Background**

Planning and Development Act 2000 (as amended)

#### **Section 2(1)**

*'works' includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application*



*or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.*

### **Section 3(1)**

*In this Act, 'development' means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.*

### **Section 4(1)**

*The following shall be exempted development for the purposes of the Act-*

*(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

### **Section 5(7) EIA Screening**

The proposed development is not specified in Part 2 of Schedule 5 of the Planning and Development Regulations 2001(as amended). In any event, it is considered, having regard to nature, size and location, the proposed development would not be likely to have significant effects on the environment. Therefore, EIA is not required.

### Planning and Development Regulations 2001 (as amended)

### **Article 6(1)**

Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

### **Schedule 2 Part 1**

*Development within the curtilage of a house*

#### CLASS 1

*'The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house' shall be exempted,*

*1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.*

*(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.*



*(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.*

*2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.*

*(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.*

*(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.*

*3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.*

*4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.*

*(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.*

*(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.*

*5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.*

*6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.*

*(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.*

*(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.*



*7. The roof of any extension shall not be used as a balcony or roof garden.*

### **Assessment**

The applicant seeks to carry out the following:

- Construction of an extension to the rear of the dwelling.
- Replacement of roof and front porch with same.
- Installation of a new septic tank to the rear of the dwelling.

Section 3 of the Planning and Development Act 2000 defines 'development' as *'the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.'*

Section 2 of the Planning and Development Act 2000 defines 'works' as *'any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.'* It is considered that the external and internal works proposed within the extension, the roof and the provision of the septic tank would involve the carrying out of 'works' and therefore constitute development.





**Fig 1 – Site Photo**

#### Construction of Extension

Having regard to the provisions of Schedule 2 Part 1 of the Planning and Development Regulations 2001 (as amended) *Development within the curtilage of a house, CLASS 1;* 'The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house' shall be exempted,

The extension part of the application has been assessed against each of the provisions of Class 1, column 2 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended);

***1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.***

- The floor area of the extension is 15.82sqm so this is considered acceptable.



***(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.***

- The site is a detached bungalow (not applicable).

***(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.***

- The site is a detached bungalow (not applicable).

***3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.***

- The site is a detached bungalow (not applicable).

***4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.***

- According to the documents submitted to the Planning Authority the rear wall does not include a gable and the extension is equal to the height of the existing rear wall.

***(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.***

- No gable on rear wall of extension.

***(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.***

- Not a flat roof extension and the highest point of the roof of the proposed extension is significantly lower than the highest point of the roof of the existing dwelling.

***5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.***

- Private open space will be in excess of 25sqm.

***6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.***

- Window in extension is south facing and will be approx. 40m from southern boundary of site.



***(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.***

- No windows above ground level in extension (not applicable).

***(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.***

- Extension is at ground level only (not applicable).

***7. The roof of any extension shall not be used as a balcony or roof garden.***

- Having regard to the documentation submitted to the Planning Authority there is no balcony nor any roof garden included in the proposal.

### **New Roof on Dwelling and Porch**

In Chapter 3 of the Kildare County Council Development Plan 2023-2029 part 13.5 Restoration/Refurbishment of Traditional Structures , It is a stated policy of the Council to;

**HO P18** Encourage the sensitive restoration of derelict traditional structures as an alternative to the construction of a one-off dwelling elsewhere subject to the following:

- The vernacular dwelling must be capable of being suitably restored to habitable accommodation in keeping with its original character without the necessity to demolish or significantly alter it.
- Documentary evidence to include a structural survey and photographs.
- The distinctive character and original historic fabric of the structure is retained using appropriate traditional construction methods and materials. 79
- The applicants or proposed occupants will not be required to comply with local need criteria, identified in the Plan (Table 3.4). Normal planning, siting and design considerations will be taken into consideration.

It is noted that there are no exemptions for roofs on derelict buildings. Repairing a wall or replacing slates can be exempt- replacing a part of a roof requires permission. The provision of the roof over the front porch would not be exempt development.





**Fig 2 – Site Photo showing front porch**

#### Provision of New Septic Tank

Septic tanks are not part of any class of development specified in Column 1 of Schedule 2, Part 1 of the Planning and Development Regulations 2001 (as amended) and therefore are **not** exempted development and require planning permission.

#### Conclusion

Having regard to:

- Sections 2, 3, 5 , etc. of the Planning and Development Act 2000 (as amended);
- Articles 6 and 9 of the Planning and Development Regulations 2001 (as amended);
- and
- The nature, extent and purpose of the works;

it is considered that the proposed work **constitutes development** as defined in Section 3(1) of the Planning and Development Act 2000 (as amended) and **is not exempted development** as defined by the Planning and Development Act 2000 (as amended) and the Planning and Development Regulations 2001 (as amended).

#### Recommendation

It is recommended that the applicant be advised that the development as described in the application ***IS development and IS NOT exempted development.***





Signed:

Planner: Cian Buckley


Date: 21/05/2024



Kehinde Oluwatosin

Senior Executive Planner

13/06/2024



Aoife Brangan

A/SP

14/06/24



## **Declaration of Development & Exempted Development under**

### **Section 5 of the Planning and Development Act 2000 (as amended)**

**WHEREAS** a question has arisen as to whether the erection of an extension to the rear of the dwelling, replacement of the roof and front porch and provision of a new septic tank to the rear of the dwelling is or is not development or is or is not exempted development.

**AS INDICATED** on the plans and particulars received by the Planning Authority on 14/05/2024.

**AND WHEREAS** Sean Daly requested a declaration on the said question from Kildare County Council,

**AND WHEREAS** Kildare County Council as the Planning Authority, in considering this application for a declaration under Section 5 of the Planning and Development Act 2000 (as amended), had regard to;

- (a) Planning and Development Act 2000 (as amended); and
- (b) Planning and Development Regulations 2001 (as amended);

**AND WHEREAS** Kildare County Council has concluded that the proposal comprises of development to which the provisions of the following applies:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act 2000 (as amended);
- (b) Articles 6 of the Planning and Development Regulations 2001 (as amended);
- (c) Class 1 in Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended) - Exempted Development – “Development within the curtilage of a house  
“Development within the curtilage of a house” and
- (d) The nature, extent and purpose of the works,

**NOW THEREFORE** Kildare County Council, in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that -


*The erection of an extension to the rear of the dwelling, replacement of the roof and front porch and provision of a new septic tank to the rear of the dwelling,*

***IS development and IS NOT EXEMPTED development pursuant to Section 2,3,4 and 5 of the Planning and Development Act as amended and Article 6, Article 9 of the Planning and Development Regulations as amended.***

Please note that any person issued with a declaration under Section 5 of the Planning and Development Act 2000 (as amended) may on payment to the Board of the prescribed fee, refer a declaration to An Bord Pleanála within 4 weeks of the issuing of the decision.



## Appendix 1: Appropriate Assessment Screening

	<b>APPROPRIATE ASSESSMENT SCREENING REPORT AND DETERMINATION</b>
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(A) Project Details	
<b>Planning File Ref</b>	ED1125
<b>Applicant name</b>	Sean Daly
<b>Development Location</b>	Cappagh, Enfield, Co. Kildare.
<b>Site size</b>	0.22ha
<b>Application accompanied by an EIS (Yes/NO)</b>	No
<b>Distance from Natura 2000 site in km</b>	11.16km from Ballynafagh Lake SAC
<b>Description of the project/proposed development</b> – The erection of an extension to the rear of the dwelling, replacement of the roof and front porch and provision of a new septic tank to the rear of the dwelling.	

(B) Identification of Natura 2000 sites which may be impacted by the proposed development			
			<b>Yes/No</b> If answer is yes, identify list name of Natura 2000 site likely to be impacted.
<b>1</b>	<b>Impacts on sites designated for freshwater habitats or species.</b>  <u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Ballynafagh lake	<i>Is the development within a Special Area of Conservation whose qualifying interests include freshwater habitats and/or species, or in the catchment (upstream or downstream) of same?</i>	<b>No</b>
<b>2</b>	<b>Impacts on sites designated for wetland habitats - bogs, fens, marshes and heath.</b>	<i>Is the development within a Special Area of Conservation whose</i>	<b>No</b>



	<u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Mouds Bog, Ballynafagh Bog, Red Bog, Ballynafagh Lake	<i>qualifying interests include wetland habitats (bog, marsh, fen or heath), or within 1 km of same?</i>	
<b>3</b>	<b>Impacts on designated terrestrial habitats.</b> <u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Ballynafagh Lake	<i>Is the development within a Special Area of Conservation whose qualifying interests include woodlands, dunes or grasslands, or within 100m of same?</i>	<b>No</b>
<b>4</b>	<b>Impacts on birds in SPAs</b> <u>Sites to consider:</u> Poulaphouca Reservoir	<i>Is the development within a Special Protection Area, or within 5 km of same?</i>	<b>No</b>

**Conclusion:**

If the answer to all of the above is **No**, significant impacts can be ruled out for habitats and bird species.

No further assessment in relation to habitats or birds is required.

If the answer is **Yes** refer to the relevant sections of **C**.

<b>(G) SCREENING CONCLUSION STATEMENT</b>		
<i>Selected relevant category for project assessed by ticking box.</i>		
<b>1</b>	AA is not required because the project is directly connected with/necessary to the conservation management of the site	
<b>2</b>	No potential significant affects/AA is not required	<b>x</b>
<b>3</b>	Significant effects are certain, likely or uncertain. Seek a Natura Impact Statement Reject proposal. (Reject if potentially damaging/inappropriate)	
<b>Justify why it falls into relevant category above (based on information in above tables)</b>		
Having regard to the proximity of the nearest Natura 2000 site and given the nature and extent of the proposed development, it is not considered there would be potential for significant effects on the Natura 2000 network.		
<b>Name:</b>	Cian Buckley	
<b>Position:</b>	Graduate Planner	
<b>Date:</b>	27/05/2024	



# COMHAIRLE CONTAE CHILL DARA

## KILDARE COUNTY COUNCIL



### Director of Services Order

I, Alan Dunney, Director of Services, am duly authorised and delegated by Chief Executive's Order number: CE48043 to make the following Order in accordance with Section 154 of the Local Government Act, 2001, as amended.

**ORDER NO:** DO53189      **Section:** Planning

**SUBJECT:** ED1125.  
Application for a Declaration of Exempted Development under Section 5 of Planning and Development Act 2000 (as amended) for development at Cappagh, Enfield, Co. Kildare.

**SUBMITTED:** File Ref. ED1125 with recommendation from the A/Senior Planner and reports from the Council's Technical Officers.

**ORDER:** **I hereby order the following** Kildare County Council, in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended) hereby decides that the proposed development is development and is not exempted development.

MADE THIS 14<sup>th</sup> DAY

SIGNED: Alan Dunney

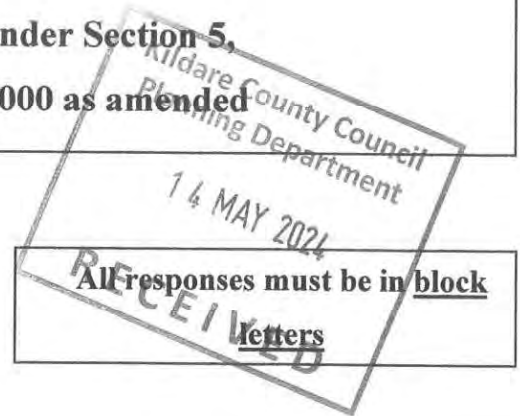
OF June YEAR 2024

**DIRECTOR OF SERVICES**



# Kildare County Council

## Declaration of Exempt Development under Section 5, of the Planning and Development Act 2000 as amended



Incomplete application forms will  
be deemed invalid and returned

### Section 1

#### Details of Applicants

1. Name of Applicant(s) A. Surname DALY Forenames SEAN  
Phone No. Fax No.  
2. Address CAPPACH, ENFIELD, CO KILDARE

### Section 2

#### Person/Agent acting on behalf of applicant (if applicable)

1. Name of Person/Agent: Surname / Forenames /  
Phone No. Fax No.  
2. Address /

### Section 3

#### Company Details (if applicable)

1. Name of Company /  
Phone No. Fax No.  
2. Company Reg. No. /  
3. Address /

### Section 4

#### Details of Site

1. Planning History of Site PRE 1963  
2. Location of Proposed Development CAPPACH, ENFIELD  
CO. KILDARE  
3. Ordnance Survey Sheet No. 3123-B  
4. Please state the Applicants interest in the site OWNER  
5. Please state the extent of the proposed development ALTERATIONS, EXTENSION  
AND GENERAL UPGRADE



6. Under what Section of the Planning and Development 2000 as amended and/or what provision of the Planning and Development Regulations 2001 as amended is exemption sought (specific details required) 2001 Planning and Development Regulations, Schedule 2, Part 1, Class 1.

7. Please give a detailed description of the Proposed Development (Use separate page if necessary).....

Old derelict Cottage with four rooms.  
I intend to build an extension to the  
back of the house measuring 7910 X 2000  
Replace roof and Front porch with same  
Septic Tank to the rear of the house.

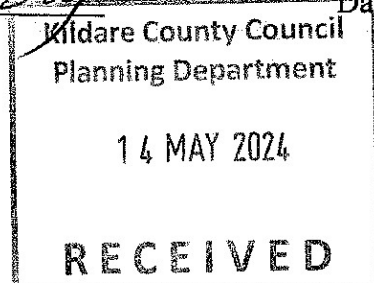
Section 5	The following must be submitted for a valid application
-----------	---

		(Please Tick)
1.	Site Location Map (1:2500 Rural Areas) (1:1000 Urban Areas)	<input checked="" type="checkbox"/>
2.	A Site Layout Plan (Scale 1:500) in full compliance with Article 23 of Planning and Development Regulations 2001 as amended	<input checked="" type="checkbox"/>
3.	Drawings of the development (Scale 1:50) in full compliance with Article 23 of Planning and Development Regulations 2001 as amended	<input checked="" type="checkbox"/>
4.	All drawings to differentiate between the original building, all extensions and proposed development	<input checked="" type="checkbox"/>
5.	Fee of 80 Euro	<input checked="" type="checkbox"/>

Section 6	Declaration
-----------	-------------

I, Sean Daly certify that all of the above information is correct and I have submitted all the required documents as outlined at Section 6 above.

Signature: Sean Daly Date: 14/05/2024





# Land Registry Compliant Map



National Mapping Agency

**CENTRE**  
**COORDINATES:**

ITM 683188,740298

**PUBLISHED:** 07/12/2022  
**ORDER NO.:** 50306821\_4

**MAP SERIES:** 1:2,500  
**MAP SHEETS:** 3123-B

**LOH Consulting Ltd**

Ballinderrin,  
Enfield,  
Co. Meath.  
Mobile : 087 6342694  
e-mail: larry@lohteam12020@gmail.com

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**LEGEND:**

<http://www.osi.ie>;  
search 'Large Scale Legend'

Area "A" circa. 0.2054 Hectares (0.5075 Acres)

Scale = 1:1000

Plot Outlined in RED  
OS Map Ref: 3123-B Kildare.

Townland: **Cappagh.**

Certified By: *[Signature]*  
Larry Holton B.Eng. C.Eng. M.I.E.I.  
2.65

Date: *12/01/2023*

C a p p a g h

6.97

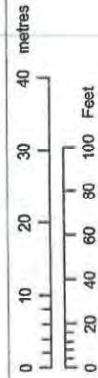
5.32

"A"

6.39

**CAPTURE RESOLUTION:**  
The map objects are only accurate to the  
resolution at which they were captured.  
Output scale is not indicative of data capture scale.  
Further information is available at:  
<http://www.osi.ie>; search 'Capture Resolution'

**OUTPUT SCALE: 1:1,000**





# Land Registry Compliant Map



National Mapping Agency

## CENTRE

COORDINATES:  
ITM 683188, 740298

PUBLISHED: 07/12/2022  
ORDER NO.: 50306821\_4

MAP SERIES: 1:2,500  
MAP SHEETS: 3123-B

LOH Consulting Ltd

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e-mail: larry.holton12020@gmail.com

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## LEGEND:

<http://www.osi.ie>;  
search 'Large Scale Legend'

Area "B" circa. 0.0212 Hectares (0.0524 Acres)

Scale = 1:1000

Plot Outlined in RED

OS Map Ref: 3123-B Kildare.

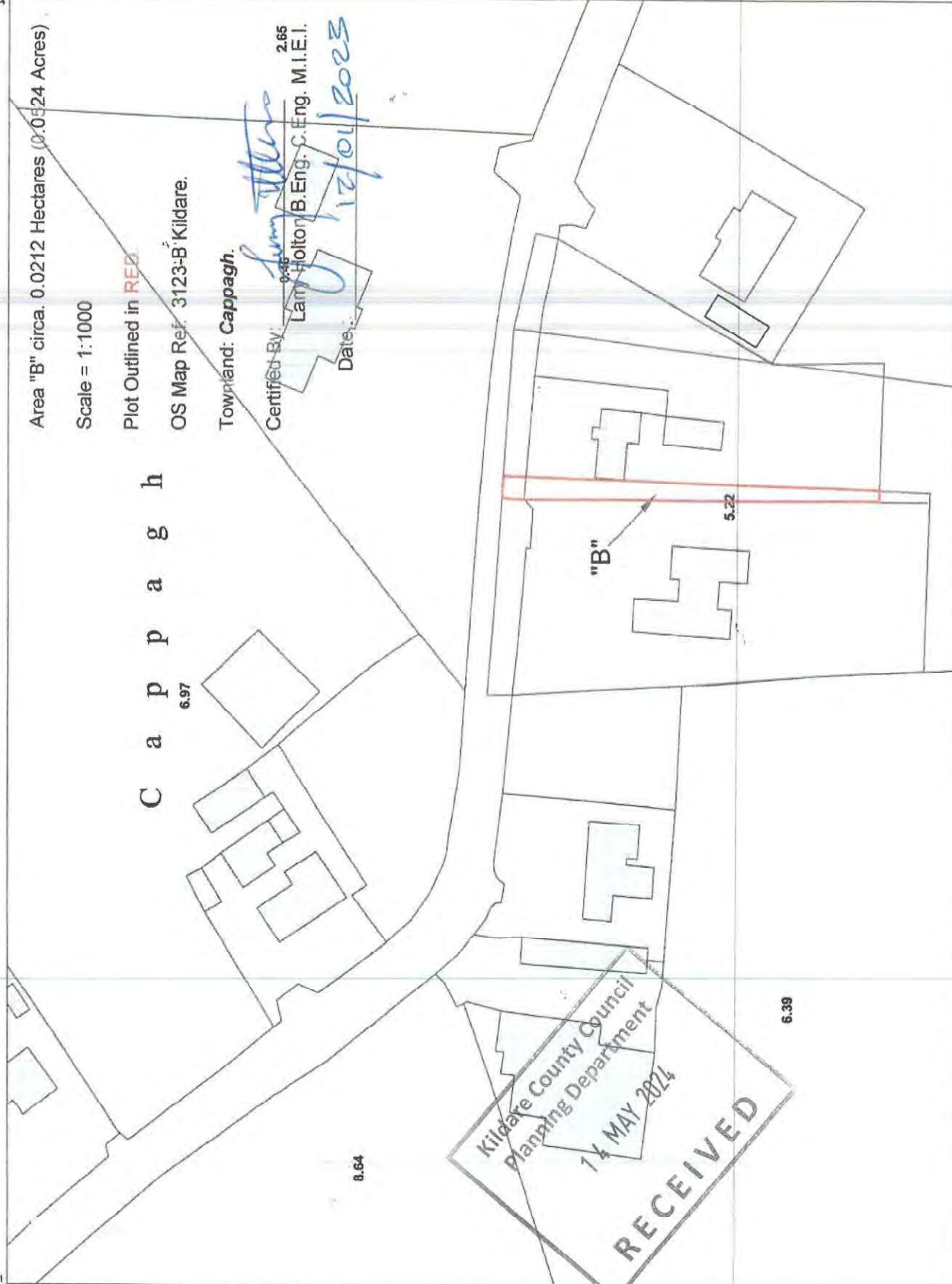
Townland: Cappagh.

Certified By:

Larry Holton B.Eng. C.Eng. M.I.E.I.

Date:

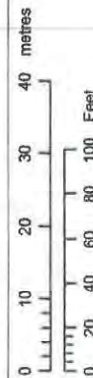
12/01/2023



## CAPTURE RESOLUTION:

The map objects are only accurate to the  
resolution at which they were captured.  
Output scale is not indicative of data capture scale.  
Further information is available at  
<http://www.osi.ie>; search 'Capture Resolution'

OUTPUT SCALE: 1:1,000







**Official Property Registration Map**

This map should be read in conjunction with the folio.

Registry maps are based on OSI topographic mapping. Where registry maps are printed at a scale that is larger than the OSI published scale accuracy is limited to that of the original OSI Map Scale.

For details of the terms of use, and limitations as to scale, accuracy and other conditions relating to Land Registry Maps, see [www.pra.ie](http://www.pra.ie).

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(centre-line of parcel(s) edged)

- Freehold
- Leasehold
- SubLeasehold
- 'S' Register

(see Section 8(b)(ii) of Registration of Title Act 1964 and Rule 224 & 225 Land Registration Rules 1972 - 2010).

Burdens (may not all be represented on map)

- Right of Way / Wayleave
- Turbary
- Pipeline
- Well
- Pump
- Septic Tank
- Soak Pit

A full list of burdens and their symbology can be found at: [www.landdirect.ie](http://www.landdirect.ie)

The registry operates a non-conclusive boundary system. The Registry Map identifies properties not boundaries meaning neither the description of land in a register nor its identification by reference to a registry map is conclusive as to the boundaries or extent.

(see Section 85 of the Registration of Title Act, 1964). As inserted by Section 62 of the Registration of Deed and Title Act 2006.





**CENTRE**  
COORDINATES:  
ITM 683188,740298  
**ORDER NO.:**  
5030821\_4  
**PUBLISHED:**  
07/12/2022  
**MAP SERIES:**  
1:2,500  
**MAP SHEETS:**  
3123-B

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Dublin 8,  
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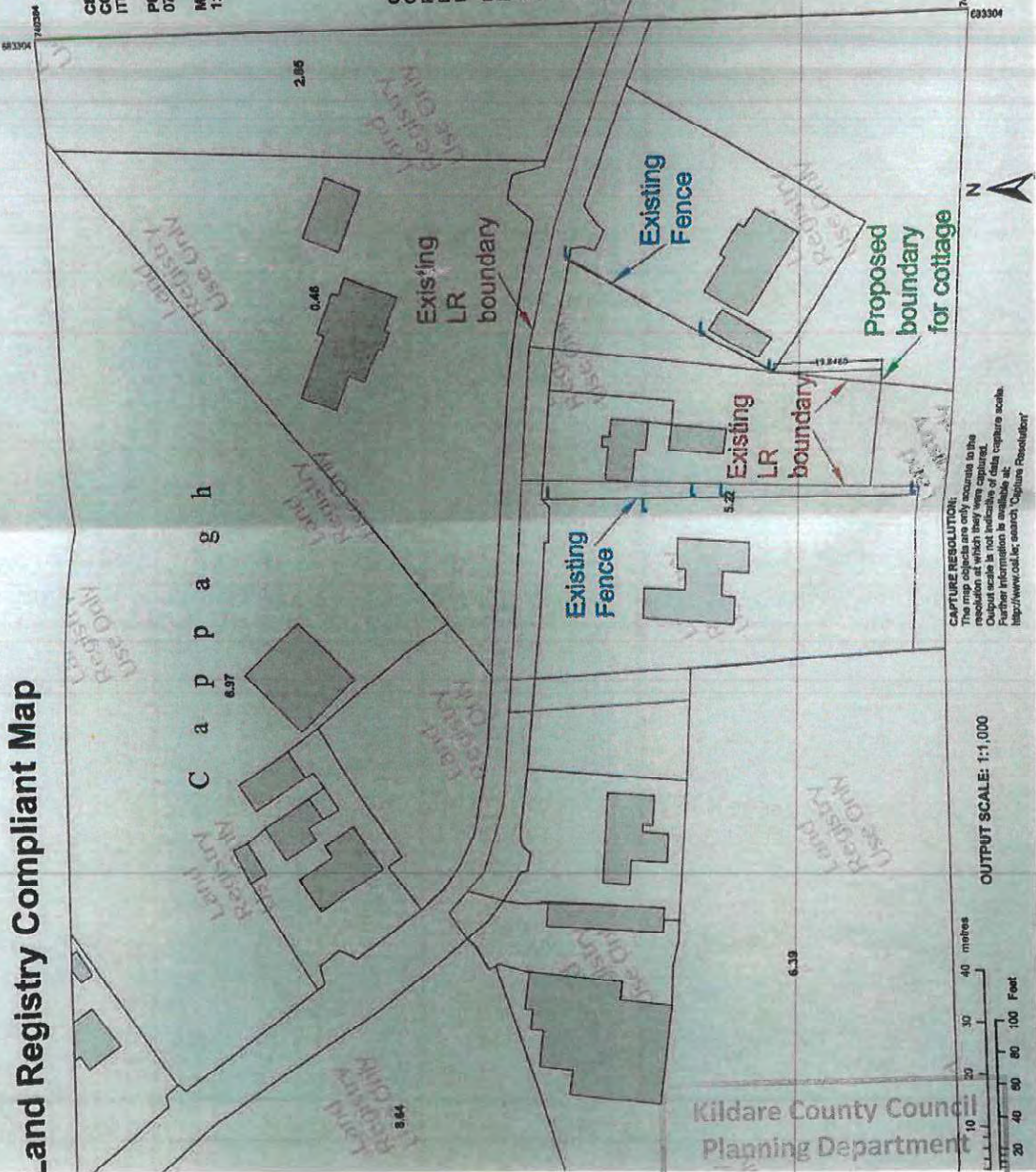
The representation on this map  
of a road, track or footpath  
is not evidence of the existence  
of a right of way.

Ordnance Survey maps  
never show legal property  
boundaries, nor do they  
show ownership of  
physical features.

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<http://www.osi.ie>

# Land Registry Compliant Map

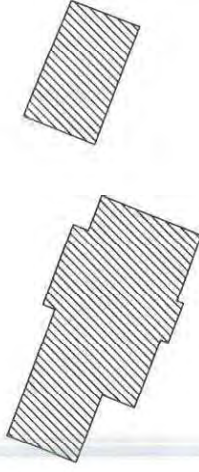


14 MAY 2024

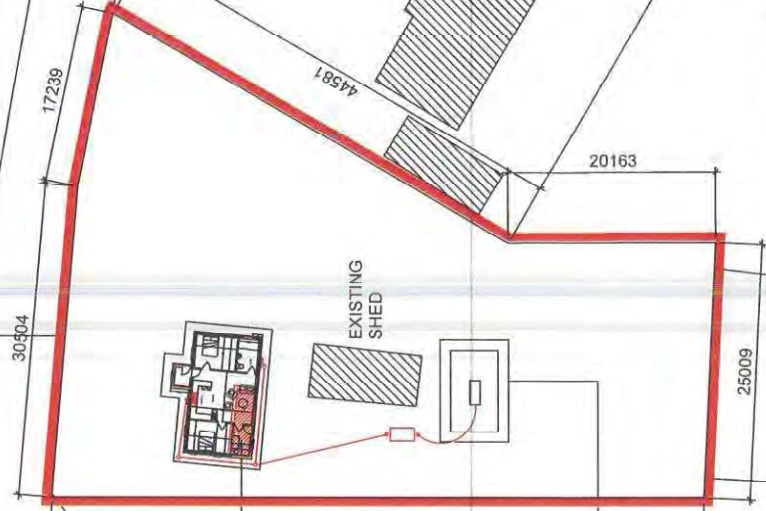
RECEIVED



NORTH.



SITE OUTLINED IN RED



PROPOSED EXTENSION

63537

APPROX LOCATION  
OF PROPOSED WASTE WATER  
TREATMENT SYSTEM

SCALE 1:500  
DRAWN n.f.  
DATE APRIL 2024

NO. REVISION DATE

JOB PROPOSED ALTERATIONS, EXTENSION TO REAR OF EXISTING COTTAGE,  
GENERAL UPGRADE AND ALL ASSOCIATED WORKS AND SERVICES AT  
CAPPAGH, ENFIELD, CO. KILDARE.

CLIENT SEAN DALY

DRAWING PROPOSED SITE PLAN

DRG. NO. 2024/05

Kildare County Council  
Planning Department  
14 MAY 2024

RECEIVED

AREA 0.205 HA



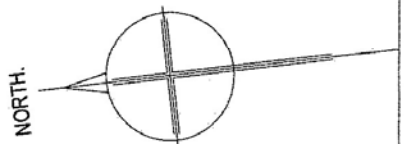
**AREA 58.9 SQ.M.**

14 MAY 2024

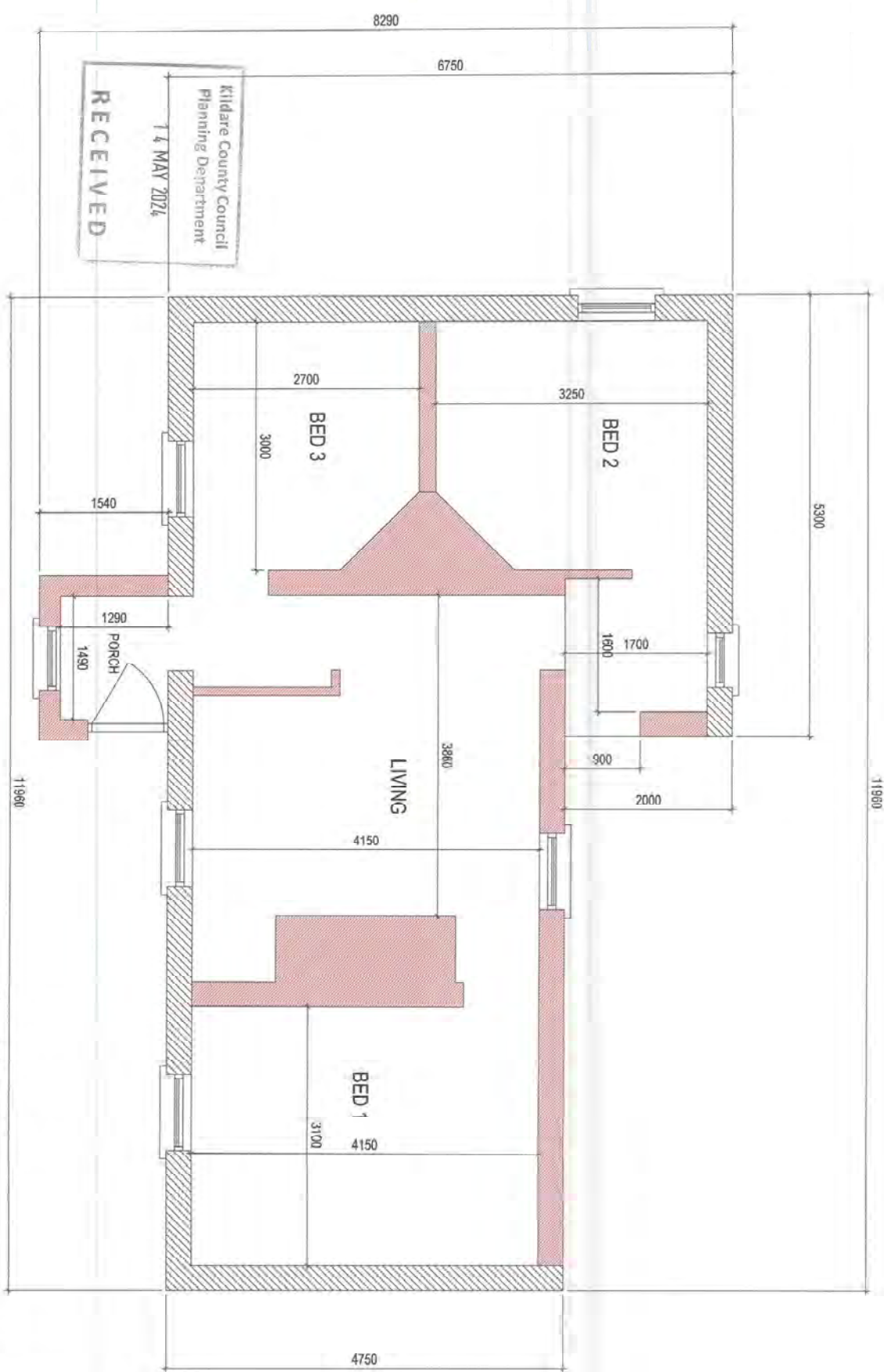
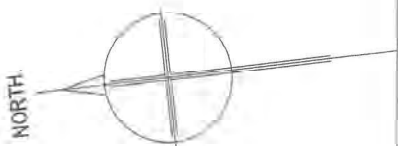
RECEIVED

NO.	REVISION	DATE
JOB	PROPOSED ALTERATIONS, EXTENSION TO REAR OF EXISTING COTTAGE, GENERAL UPGRADE AND ALL ASSOCIATED WORKS AND SERVICES AT CAPPAGH, ENFIELD, CO. KILDARE.	
CLIENT	SEAN DALY	
DRAWING	EXISTING FLOOR PLAN	
DRG. NO.	2024/05	
		SCALE
		DRAWN
		DATE

SCALE 1:50  
DRAWN n.f.  
DATE APRIL, 2024







# EXISTING FLOOR PLAN

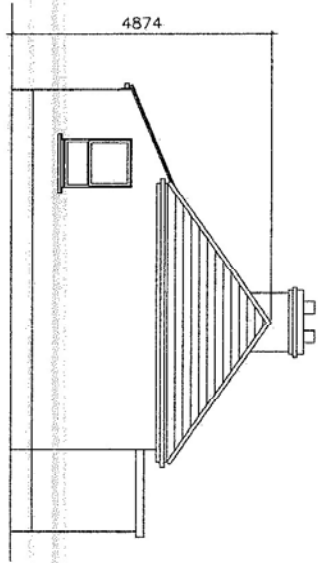
AREA 58.9 SQ.M.

EXISTING  
PROPOSED TAKE DOWN

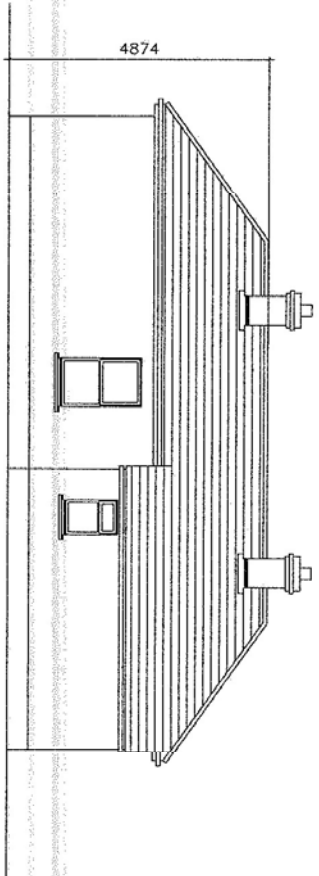
NO.	REVISION	DATE
1	PROPOSED ALTERATIONS, EXTENSION TO REAR OF EXISTING COTTAGE, GENERAL UPGRADE AND ALL ASSOCIATED WORKS AND SERVICES AT CAPPAGH, ENFIELD, CO. KILDARE	
2	SEAN DALY	
3	PROPOSE TAKE DOWN	
4		

SCALE 1:50  
DRAWN n.t.  
DATE APRIL 2024

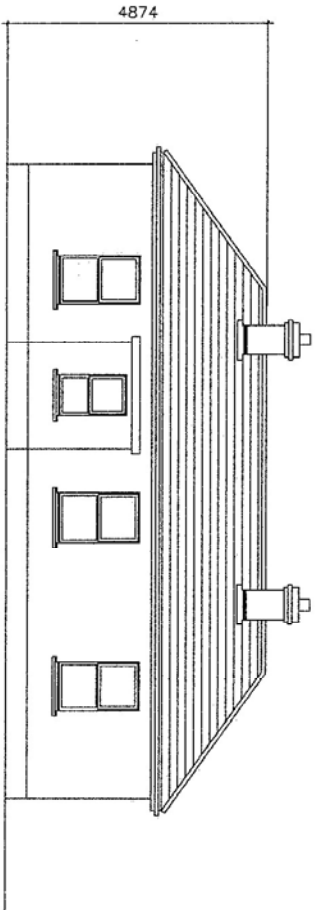




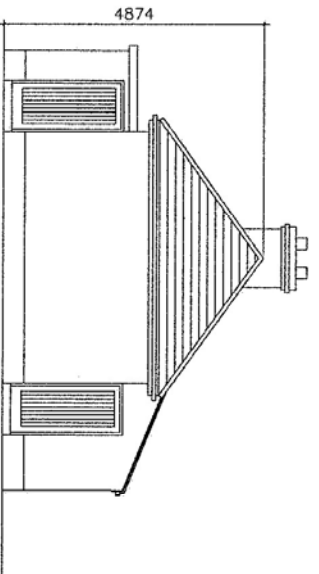
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



NO.	REVISION	DATE
JOB	PROPOSED ALTERATIONS, EXTENSION TO REAR OF EXISTING COTTAGE, GENERAL UPGRADE AND ALL ASSOCIATED WORKS AND SERVICES AT	
CLIENT	CAPPAGH, ENFIELD, CO. KILDARE.	
DRAWING	SEAN DALY	
DRG. NO.	EXISTING ELEVATIONS	
2024/05		
SCALE	1:100	
DRAWN	n.l.	
DATE	APRIL 2024	



[illegible]

Diagram illustrating the roof structure components:

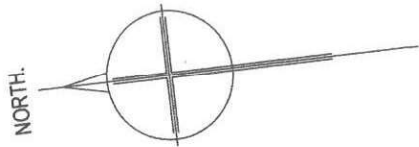
- NEW ROOF TIMBERS, FILL AND CONCRETE TILES
- WINDRIVER GAUGE
- NEW ROOF TIMBERS, FILL AND CONCRETE TILES
- WIND PLASTER AND REPAIRS ALL EXTERNAL WALLS
- NEW WINDOWS COMPLETE

WEST ELEVATION

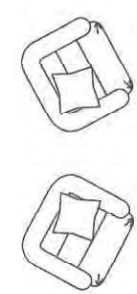
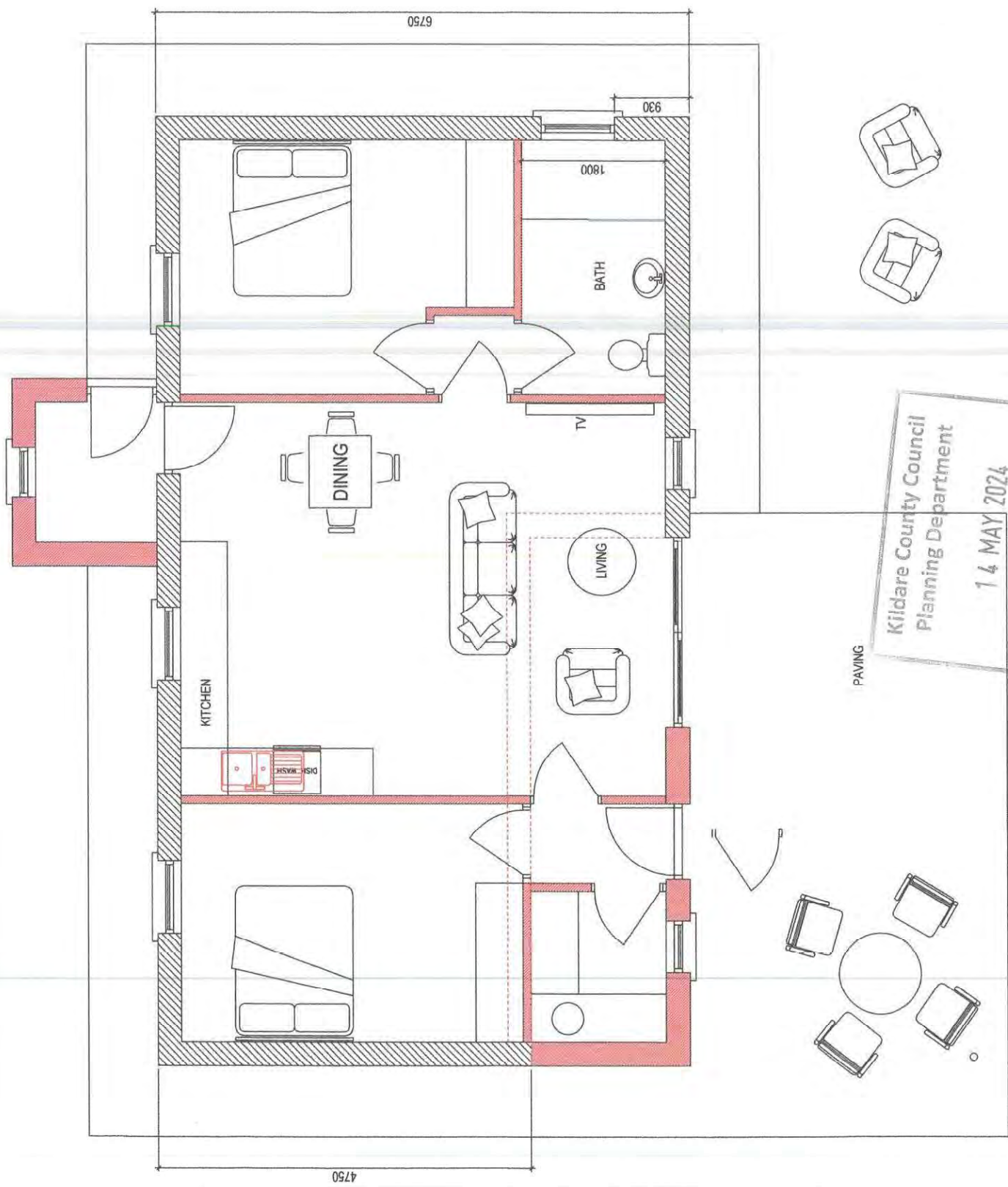
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DATE APRIL 2024

DATE APRIL 2024



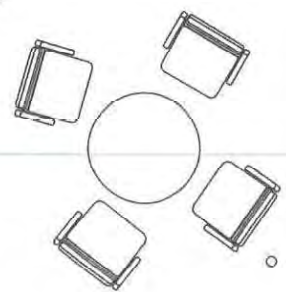


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Kildare County Council  
Planning Department  
14 MAY 2024

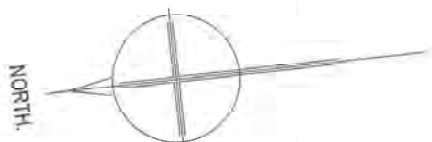
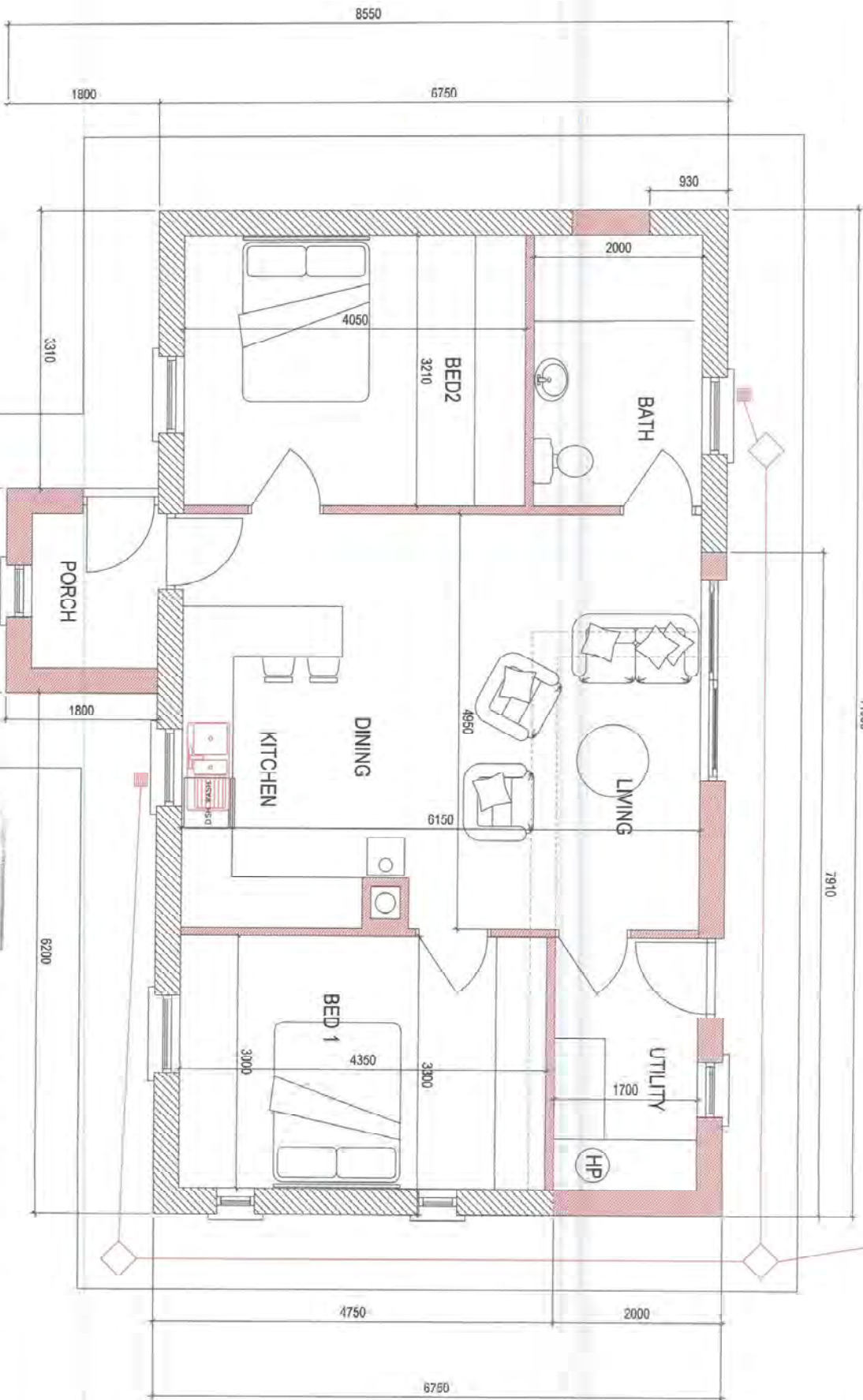
PAVING



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# PROPOSED FLOOR PLAN

AREA 13.19 SQ.M.

- EXISTING
- PROPOSED MASONRY

14 MAY 2024

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Planning Department

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JOB PROPOSED ALTERATIONS, EXTENSION TO REAR OF EXISTING COTTAGE,  
GENERAL UPGRADE AND ALL ASSOCIATED WORKS AND SERVICES AT  
CARPUGH, ENFIELD, CO. KILDARE.  
CLIENT SEAN DALY  
DRAWING PROPOSED FLOOR PLAN  
DRG. NO. 2124/05

SCALE 1:50  
DRAWN M.  
DATE APRIL 2024





FINANCE CASH OFFICE  
Kildare County Council  
Áras Chill Dara  
Devoy Park  
Naas  
Co. Kildare  
14/05/2024 15:02:36

Receipt No. : FIN1/0/499676  
\*\*\*\*\* REPRINT \*\*\*\*\*

ED1125 Sean Daly

PLANNING EXEMPT DEVELOP FEES 80.00  
GOODS 80.00  
VAT Exempt/Non-vatable

Total : 80.00 EUR

Tendered :  
Cash 80.00

Change : 0.00

Issued By : Sally Pallister Finance Section  
From : Financial Lodgement Area  
Vat reg No.0440571C